



Company Brochure

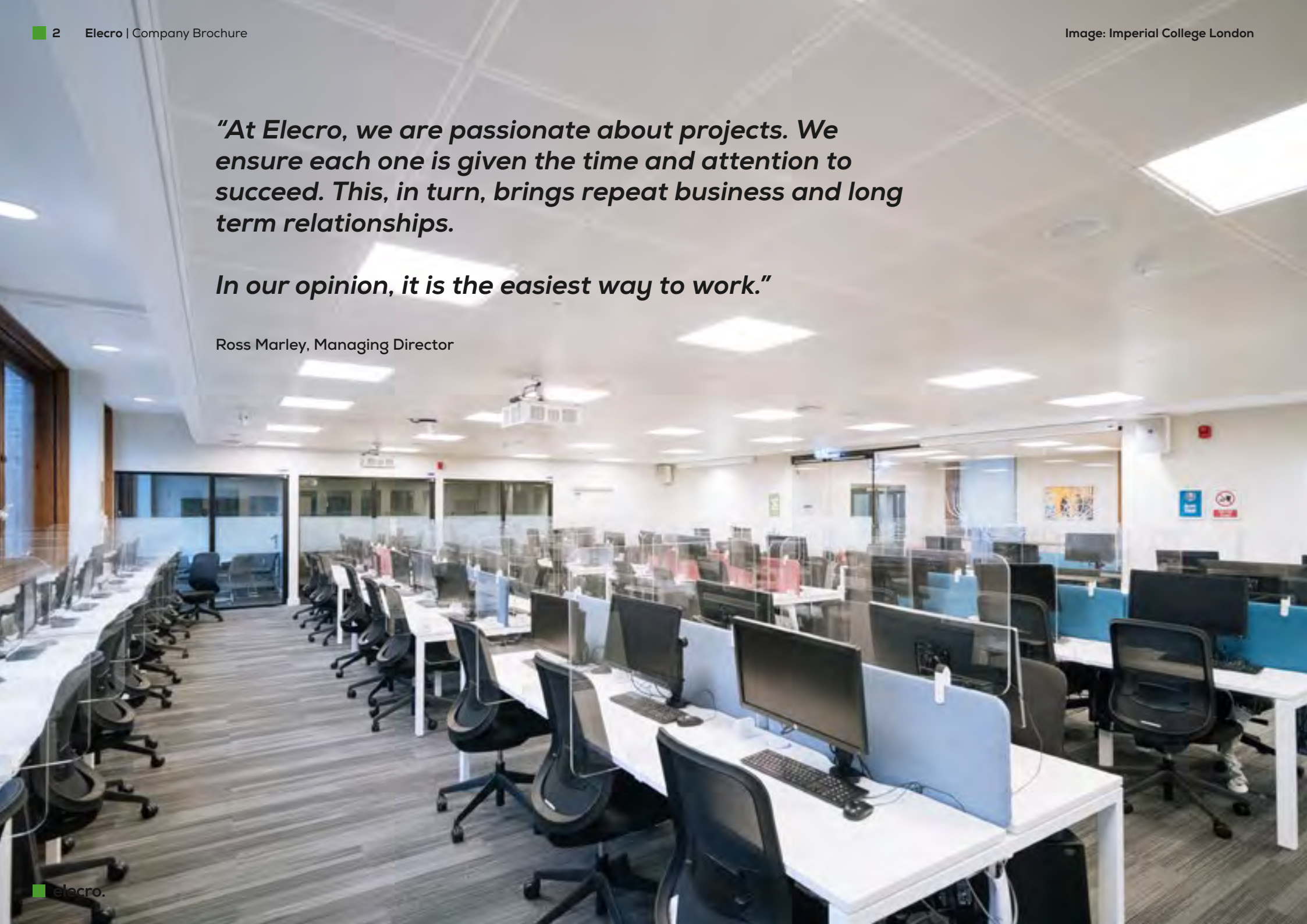




***“At Elecro, we are passionate about projects. We ensure each one is given the time and attention to succeed. This, in turn, brings repeat business and long term relationships.***

***In our opinion, it is the easiest way to work.”***

Ross Marley, Managing Director



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# Who we are

**At Elecro, we are passionate about building professional relationships through the delivery of quality projects safely.**

We see relationships as the foundations of our business and ensure we give each one the time attention it needs to be maintained and preserved for years to come.

We utilise a team approach throughout our business, both upstream with Principle Contractors and clients, as well as downstream with our valued supply chain.

We believe that this approach yields a better result more often than not. Everyone has their unique responsibilities, but things move quickly when we are all pulling in the same direction.

We pride ourselves on being flexible and easy to work with while being entirely focused on achieving the project goals.

Our five core values of health & safety, quality, culture, productivity and performance run through everything we do - they keep us focused on what is essential whilst delivering to our client's expectations.

Working within multiple sectors, including commercial office fit-out, education, healthcare and new build residential, we use our expertise to deliver projects ranging from £100k up to £7m.







## Electro in numbers

As of Q1, 2021

**18**

Live projects

**£18m**

Live projects value

**144**

Operatives on site

**Since 1995**

We have built long lasting relationships with many of our clients during our 25 years in business, including blue chip companies and organisations.

**£100k – £7m**

Average project range currently delivered by Electro through the different sectors we work in.

# | Core Values

Everything we do at  
Elecro is driven by our

## *Five Core Values*

### Culture

Our Team, Clients and Supply Chain are what makes us who we are. We aim to guide, train and assist our employees enabling them to be the best they can be, whilst developing long term relationships with clients and suppliers. Good people, clients and suppliers are essential for our business to succeed.

### Health & Safety

The Health and Safety of our staff, sub-contractors and suppliers is our top priority. We take pride in delivering projects safely, whilst being mindful of people's health throughout the process.

### Quality

The delivery of quality throughout the company is key. Ensuring we provide a quality end to end services is the hallmark of our success.

### Productivity

We are consistently driving productivity to ensure projects are successful. By maintaining a high level of productivity throughout our teams, we can be certain that success will follow.

### Performance

Profitability is essential for our business to be successful. Managing and maintaining our finance will enable us to grow and thrive.



A wide-angle photograph of a modern lecture hall. The room features tiered seating with dark blue upholstered seats and light-colored wooden desks. The ceiling is composed of horizontal wooden slats with integrated linear lighting. A large black screen is mounted on the right wall. In the foreground, a green banner contains a quote. The floor is covered in grey carpeting.

“

*“Our core values help shape our culture, our brand promise and work ethic”*

# | Leadership Team

## Our Owners



***“We strongly believe that collaborative project teams enable success”***

Ross Marley  
Managing Director



**Ross Marley**

**Managing Director**

Ross is the Managing Director and co-owner of Elecro. Ross' main role is to develop and grow Elecro as a business, bring in new work opportunities and maintain existing relationships. Ross joined the Elecro in 2011 with the vision to build on the solid foundation the company already had within the Education and Healthcare sectors. Over the past 10 years Ross has helped Elecro diversify into the multiple other sectors such as Financial, New Build Residential and High-End Residential. This has enabled the revenue to grow by nearly four times, whilst maintaining profit margins.



**Kevin Marley**

**Director**

Kevin is Company Director and co-owner of Elecro. He co-founded Elecro in 1995 with his now retired ex-partner. Kevin's role is to oversee the Fire Alarm and Security Division, the Maintenance Division and bring in new work. He has created and maintained long lasting relationships over the years including Imperial College London – 20 years, and Northern & Shell Trust – 21 years. Kevin prides himself on building and maintaining relationships which stand the test of time through the quality and commitment Elecro provide.



## Darren Elliott

### Head of Operations

Darren is Head of Operations here at Elecro. Darren oversees all operational aspects of our projects from inception to completion including the site teams, and has a proactive role in developing and maintaining client relationships.

Darren has been a long term member of the Elecro team joining back in 2007 and working his way into his current position. Darren has built up trust with clients old and new by delivering challenging projects to the their requirements.



## William Walton

### Head of Commercial

William is our Head of Commercial. As Head of Commercial, William's core role is to oversee and manage the commercial team, and provide commercial direction and advice to the Directors. With regular site visits he is on hand to ensure that our projects run smoothly commercial and assist with any issues. William is a fundamental part of the Leadership Team who guarantee we are providing value to our clients, our supply and ourselves. William joined Elecro in 2016 from Wates where he helped build their self-delivery M&E model.



## Charlotte Marley

### Head of HR & Marketing

Charlotte joined Elecro in 2010 from global ratings company Standard and Poor's. Charlotte role as Head of HR & Marketing see her manage the business processes around Human Resources ensuring we meet legislation.

Charlotte also manages any marketing campaigns, and events alongside the Marketing Team as well as the Administration Team.



## Alan Palmer

### Head of Finance

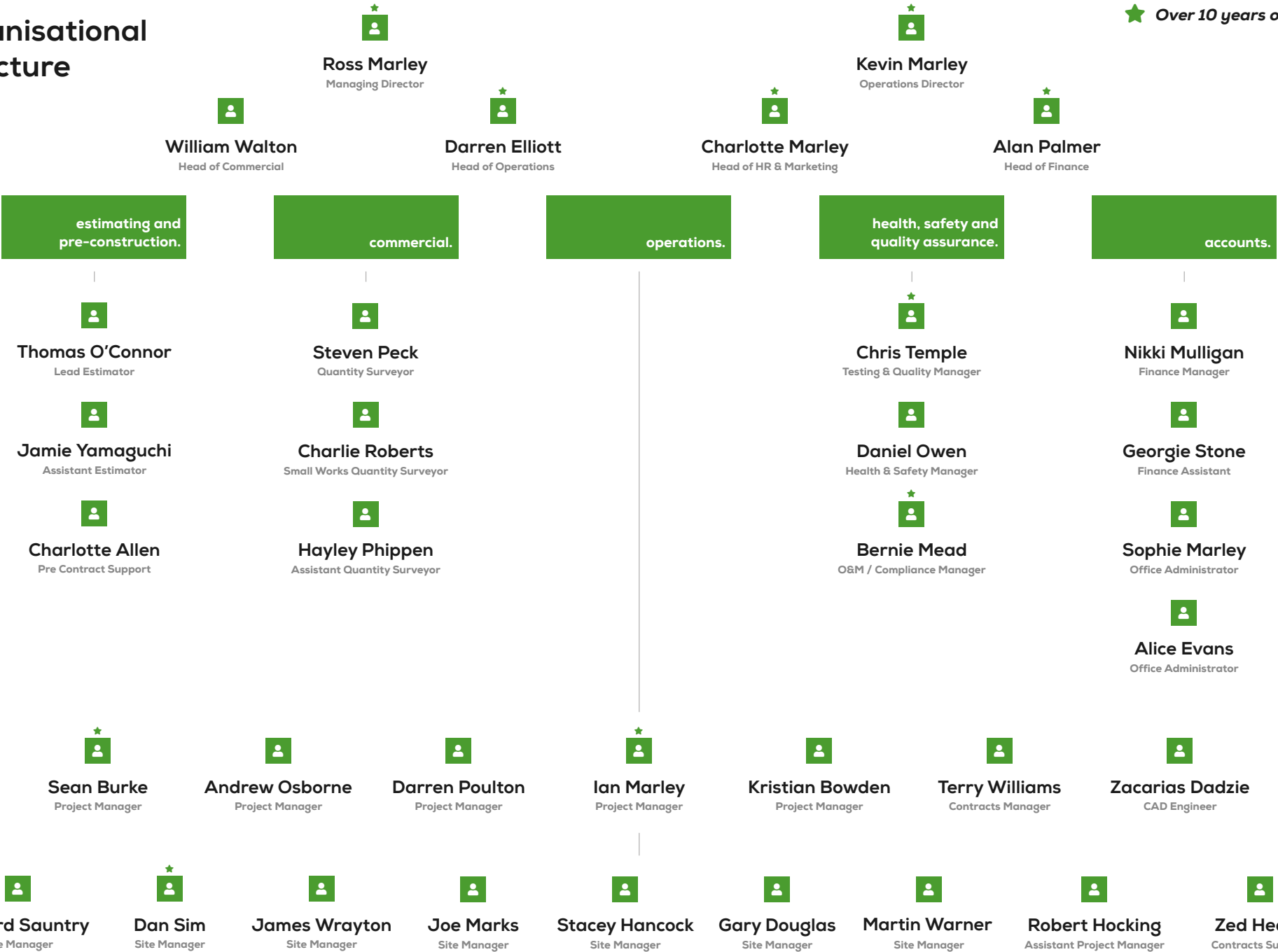
Alan joined Elecro in 2019 to bring experience and knowledge to the Finance team as Elecro were going through a significant period of growth.

Alan's role is to help implement and improve finance process, help produce budget and forecast finance information, support the Finance Team and aid the Directors on key finance decisions.



# Organisational Structure

★ Over 10 years of service



# Our Culture

We follow certain principles as a company which helps shape our culture.

## Excellence & Quality

I must strive to be the best I can be and deliver excellence and quality throughout my role. I must add value to everything that I do and ensure that I am always improving and willing to improve.

## Leadership & Team Work

I am part of a team where I must collaborate and co-operate to achieve success. When called for I shall confidently lead always listening and considering other team members ideas and input.

## Education & Growth

I must always be willing to learn and educate myself for my own personal and professional growth. I must learn from my mistakes and help other learn from theirs.

## Communication

I must speak positively to my fellow peers at all times and help to find solutions, not look for problems. I reach out and communicate with my team members and invite them to collaborate whenever possible.

## Revolution & Innovation

I encourage change which brings revolution or innovation. I understand that doing things differently can mean doing them better. I keep an open mind and have the confidence to discuss opportunities for improvement with my team.

## Ownership & Accountability

I am responsible for my actions and take full ownership and accountability for my choices and decisions along with the outcome. I will not resort to blame, make excuses or deny when I am at fault.

elecro.



# Health & Safety

**At Elecro, we pride ourselves on making Health and Safety a top priority.**

Our staff and those working with us are valued team members, and their safety is paramount, so we do not bend the rules for any reason.

Our existing Health and Safety record is outstanding, and we will strive to keep it that way for years to come. We believe that our track record reflects our commitment to keeping and maintaining safe working sites for all and also provides potential partners with peace of mind when embarking on a working relationship with us.



***“It is important to us that we deliver projects on time, on budget, but also safely.”***





## Our Commitment

Our current Health and Safety record is outstanding, and we will strive to keep it that way for years to come.

We believe that our track record reflects our commitment to preserving and maintaining safe working sites for all. It also provides potential partners with peace of mind when embarking on a working relationship with us.



## Training & Awareness

As part of our ongoing commitment to maintaining our outstanding Health and Safety record, we require and encourage all staff to attend regular training and awareness courses. This ensures that all Elecro staff have the most up to date Health and Safety knowledge and are at the forefront of maintaining a safe working environment.



## Accreditations

Our list of accreditations further demonstrates our commitment to Health and Safety and includes current memberships to OHSAS 18001, CHAS and Construction Line. Through these accreditations, we have ensured that Health and Safety is at the forefront of all Elecro operations.

# Our Clients

**We have developed strong relationships with clients across multiple sectors.**

Our clients have worked with us for years, we're proud to share we have a relationship lasting over 20 years and still going strong.

At Elecro, we are fully committed and dedicated to delivering beautifully finished work that will be admired, not only by our clients, but our clients, clients and everyone inbetween.



*"Building and developing long-term relationships with clients is at the core of our company values."*





# Case Studies

# | Our Work

## Over the years we have successfully delivered many beautiful projects.

Each new project brings a unique set of challenges, we strive to consistently overcome and exceed any obstacles, showing our strength and reliability as a company.

### Sectors

Our team are experienced in many sectors but are not limited to what we can achieve, we find the right people for the right job, everytime.

Some sectors we work in

- Arts & Leisure
- Education
- Finance
- Healthcare
- High-End Residence
- Infrastructure
- New Build Residence

### Services

We can provide specialist services as a Principal or Sub Contractor carrying out a single service or a complete turn key solution.

Our main services are

- Electrical
- Fire Systems
- Fit out
- Mechanical
- Security

More case studies and work examples available upon request.

“

***“We love what we do and are proud of each of our projects.”***

***Every single project we undertake is in safe hands simply because we care”***





Battersea Arts Centre



# Battersea Arts Centre

## Main Client

**Battersea Arts Centre**

## Sector

**Arts & Leisure**

## Services

**Electrical**

## Project Highlights

- ✓ Grade 2 listed building
- ✓ Exposed services
- ✓ Complex stage lighting control system
- ✓ Liaising with specialist lighting consultants

## Duration

**32 weeks**

## Project Value

**£1,200,000**

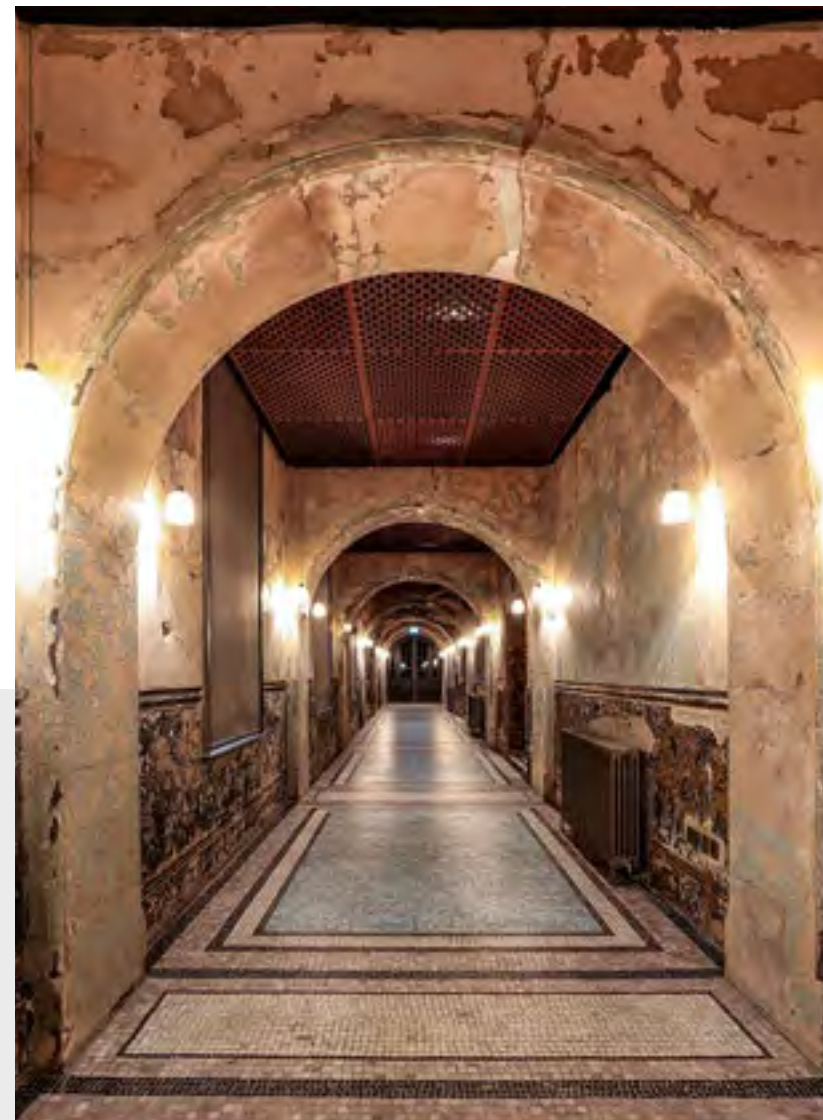
## Project Summary

Battersea Arts Centre was damaged beyond use during a fire. The brief was to refurbish and modernise the building whilst keeping the fire-damaged look throughout.

Industrial finishes were chosen throughout and teamed with cutting edge stage lighting systems, to provide a unique exhibition and performing arts space.



**BATTERSEA  
ARTS CENTRE**



## Principal Contractor

**8Build**



## MEP Consultant

**Skelly & Couch**

**SKELLY & COUCH**





















Mile End Hospital



# Mile End Hospital



## Main Client

NHS

## Sector

Healthcare

## Services

Mechanical & Electrical

## Project Highlights

- ✓ Co-ordination challenges
- ✓ Specialist medical equipment
- ✓ Specialist medical contractors
- ✓ Fast track programme

## Project Summary

The NHS Trust required a refurbishment of an existing building at Mile End Hospital into a new Cancer Hub.

The project contained many different rooms uses such as office space, decontamination rooms, endoscopy room, treatment pods, reception and waiting areas and a dedication external plant area.



## Duration

28 weeks

## Project Value

£2,300,000

## Principal Contractor

Logan Construction



## MEP Consultant

Bianco Sale

















Stadium House



# Stadium House

Imperial College  
London

## Main Client

Imperial College London

## Sector

Education

## Services

Electrical

## Project Highlights

- ✓ Three Phases
- ✓ Working in a live building
- ✓ Various uses of the spaces
- ✓ Exposed Services

## Project Summary

Imperial College London took over the Stadium House building which was previously owned by the BBC. Over three phases, we transformed the building into laboratories, workshop, office and teaching spaces.

As the project progressed, the building became occupied by the previous phases users.



## Duration

66 weeks

## Project Value

£1,200,000

## Principal Contractor

8Build



## MEP Consultant

Troup Bywaters &  
Anders



















Barchester Street



# Barchester Street

## Main Client

Canary Wharf Group

## Sector

New Build Residential

## Services

Electrical

## Project Highlights

- ✓ 150 Apartments
- ✓ 4 Blocks
- ✓ Phased programme and handovers

## Duration

66 weeks

## Project Value

£650,000

## Project Summary

Canary Wharf required the construction of 150 apartments over four blocks to provide social housing to the local community. This project was an off-shoot of their larger scheme Wood Wharf.

All works were to be carried out over 18 months.



## Principal Contractor

Canary Wharf  
Contractors



## MEP Consultant

MG Partnership

















# Wood Wharf Public Realm



APARTMENTS  
TO BUY  
APARTMENTS  
TO RENT  
FLEXIBLE  
WORKSPACE



# Wood Wharf Public Realm



## Main Client

Canary Wharf Group

## Sector

Infrastructure

## Services

Electrical

## Project Highlights

- ✓ Multiple phases
- ✓ Large working area
- ✓ Long sub-main runs

## Project Summary

The Public Realm works form part of the overall Wood Wharf project but specifically focus on pedestrian and external areas.

We have been commissioned to provide walkways, lighting and landscaped areas around the newly constructed apartment towers for the general public.



## Duration

108 weeks

## Project Value

£700,000

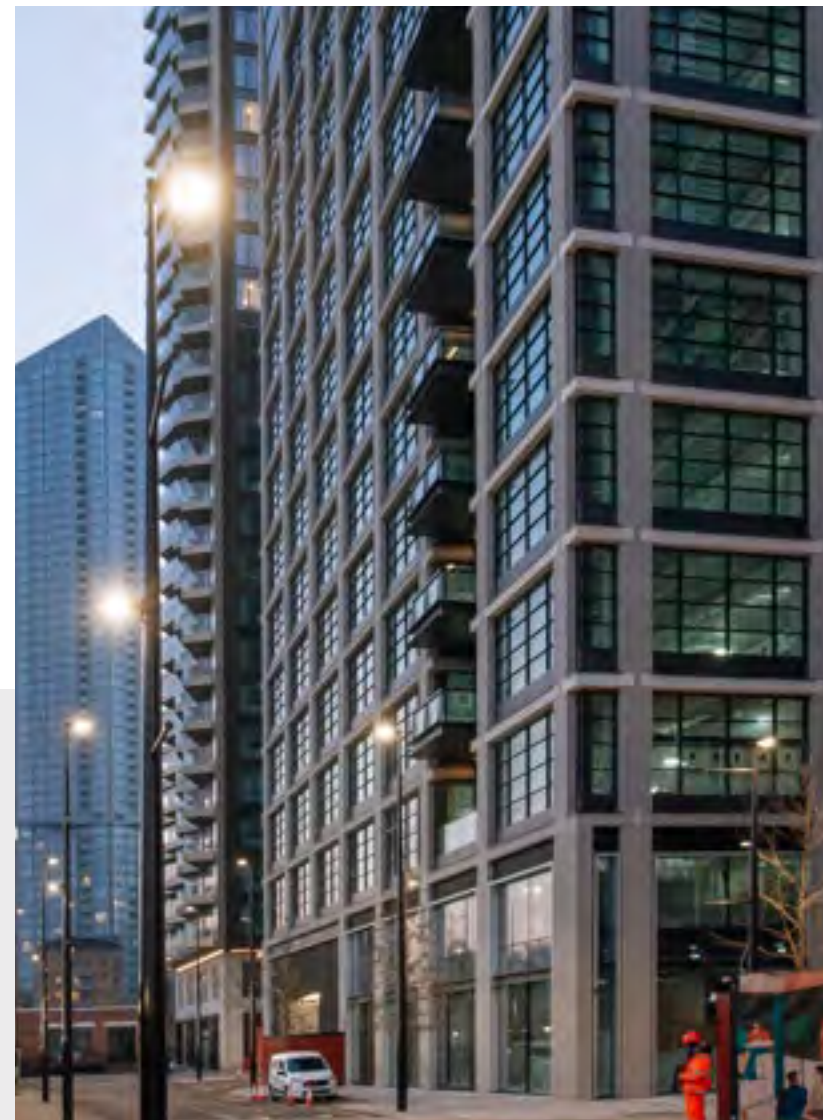
## Principal Contractor

Canary Wharf  
Contractors



## MEP Consultant

Aecom

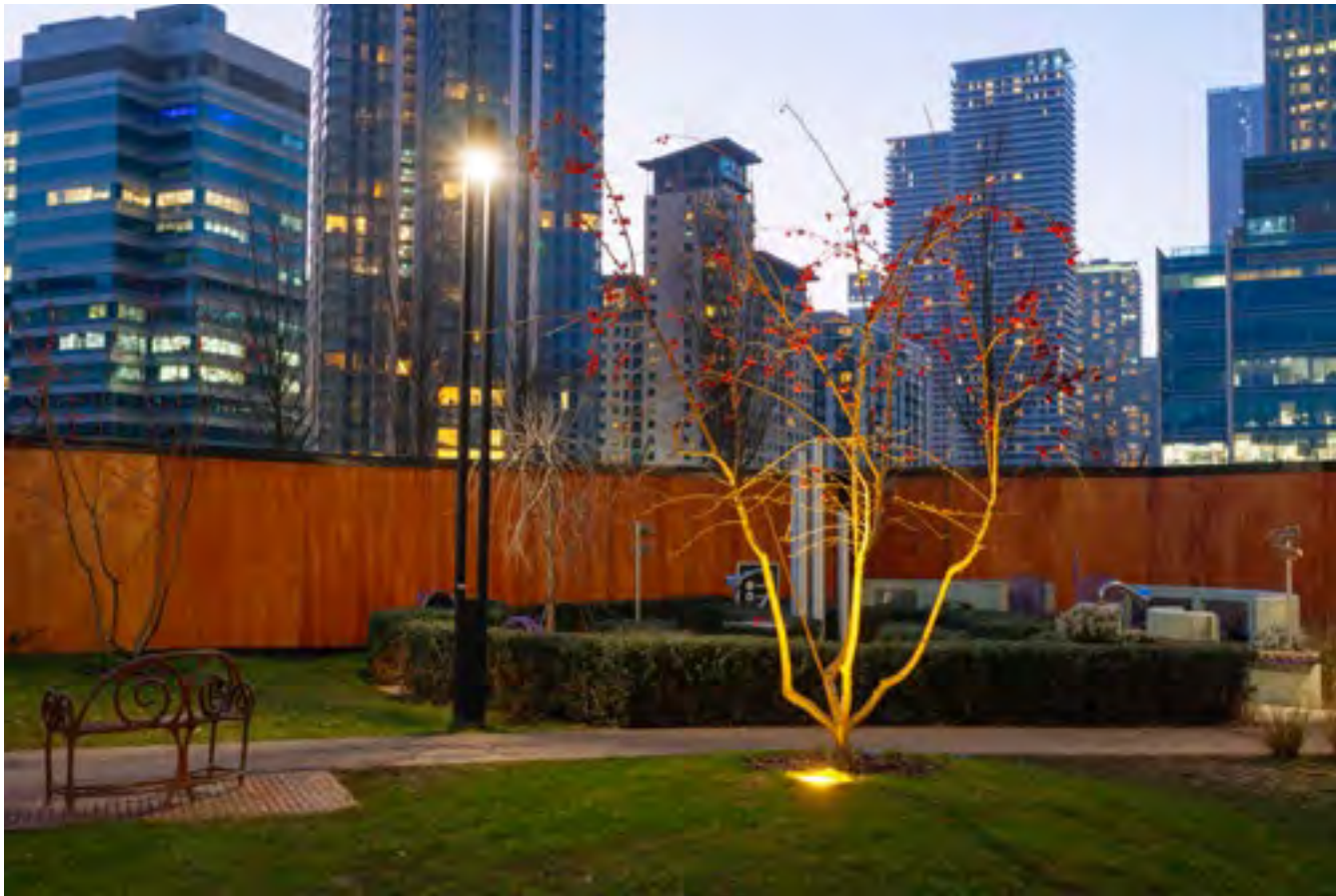


















# Old War Office

## Main Client

Hinguja Group & OHL Desarrollos

## Sector

High-End Residence

## Services

Mechanical & Electrical

## Project Highlights

- ✓ Co-ordination challenges
- ✓ Specialist high end fixtures and fittings
- ✓ Specialist home automation system
- ✓ Complex work sequencing with other trades

## Duration

96 weeks

## Project Value

£7,000,000

## Principal Contractor

Ardmore



## MEP Consultant

Aecom







# Boiler Replacement

## Main Client

Goldman Sachs

## Sector

Finance

## Services

Mechanical, Electrical & Fit Out

## Project Highlights

- ✓ Complex builders works
- ✓ Working in a live building
- ✓ All works out of hours
- ✓ Complex rig design for lowering the boilers

## Project Summary

Goldman Sachs required their existing gas-fired boilers to be removed and replaced with larger, more efficient gas boilers. Due to the new boilers' size, there was a requirement for extensive demolition works to the car park floor and plant room wall to allow the craning in of the new boilers. Once complete, all the areas had to be re-built and re-finished to match the existing, whilst the new boilers were connected and commissioned.

This project was confidential, no photos allowed.

## Duration

28 weeks

## Project Value

£1,200,000

## Principal Contractor

Elecro



## MEP Consultant

Elecro





# HV Switch

## Main Client

Goldman Sachs

## Sector

Finance

## Services

Mechanical, Electrical & Fit Out

## Project Highlights

- ✓ Complex specialist builders works
- ✓ Working in a live building
- ✓ All works out of hours
- ✓ Co-ordination of specialist contractor requirements

## Project Summary

Goldman Sachs requested that a new HV Switch Room was to be built within their Peterborough Court building along with a new Security Control Room. Detailed meetings were required with UKPN to ensure that all the requirements for the HV Room were met. Consecutively the new Security Control Room was to be created within the existing car park area including all necessary services.

This project was confidential, no photos allowed.

## Duration

38 weeks

## Project Value

£1,100,000

## Principal Contractor

Electro



## MEP Consultant

Electro





# Campus Toilet Refurbishment



## Main Client

**Royal Holloway University**

## Sector

**Education**

## Services

**Mechanical, Electrical & Fit Out**

## Project Summary

The toilets blocks to three buildings at Royal Holloway University's Egham Campus were to be updated and refurbished. The works to all twenty toilet blocks were carried out whilst the student were away for the summer.

Works in multiple areas, over multiple building were required to achieve the end date.

## Project Highlights

- ✓ Simultaneous projects across Campus
- ✓ Fast track programme
- ✓ Planning and coordination of multiple trades within a short time frame
- ✓ Specialist equipment and suppliers

No work photos available for this project

## Duration

**26 weeks**

## Project Value

**£600,000**

## Principal Contractor

**Elecro**



## MEP Consultant

**Elecro**



Engineering Relationships  
since 1995

020 7820 6220

[info@elecroltd.co.uk](mailto:info@elecroltd.co.uk)

[www.elecroltd.co.uk](http://www.elecroltd.co.uk)

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